

Site Plans

Issued for: **Revision to PUD Master Plan**

Date Issued: February 1, 2013

Latest Issue: February 1, 2013

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Survey Drawings

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SV-1	Existing Condition Plan of Land	8/19/2012
SV-1(A)	Existing Conditions Plan of Land (As-Built)	11/3/2004

Site/ Civil Drawings

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Landscape Architect Drawings

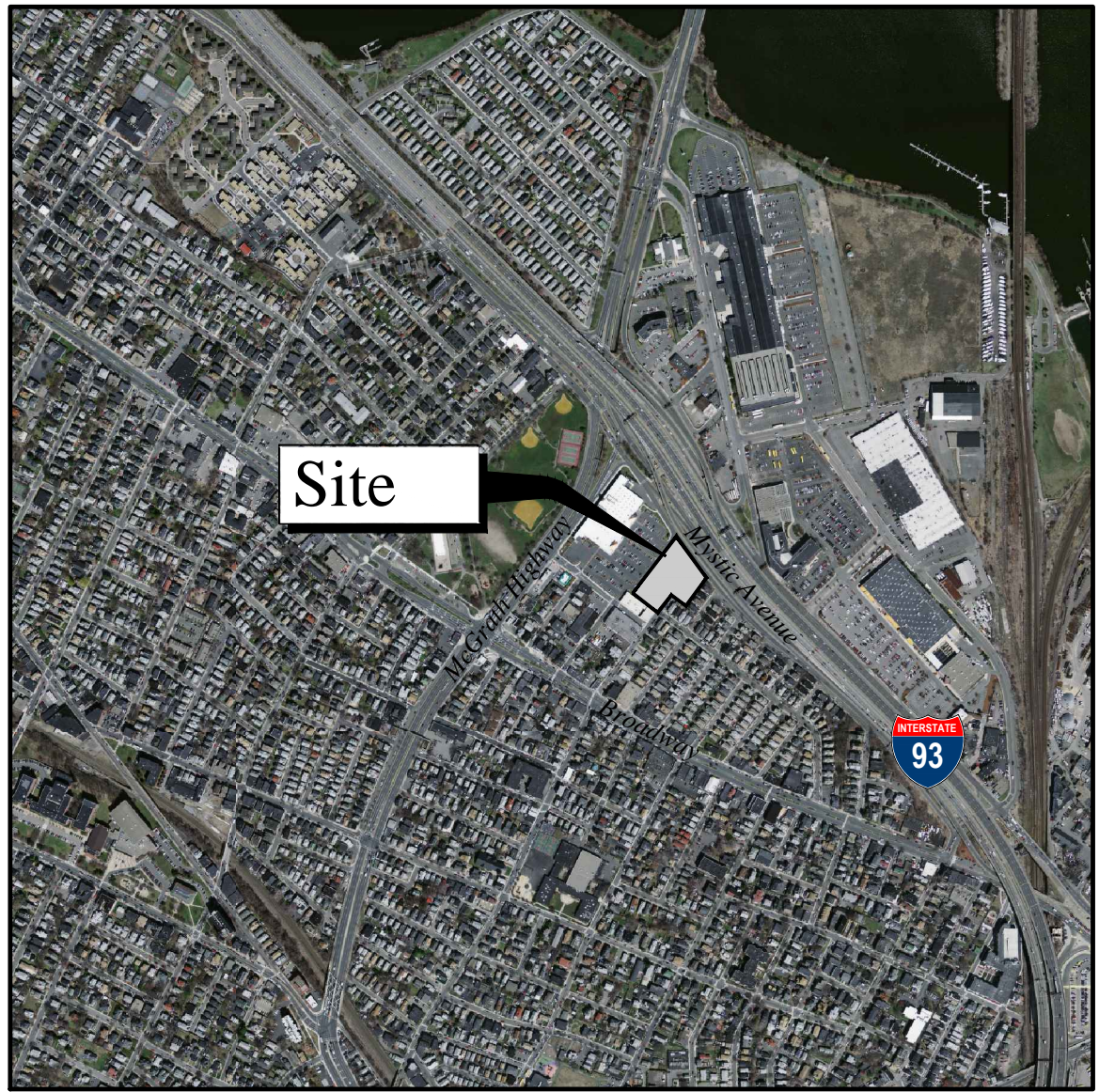
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Proposed Residential Development

Cross Street East
Somerville, Massachusetts



Site Location Map



0 500 1000 Feet

Property Information

Applicant:
CPC-T Holdings, LLC
c/o Criterion Development Partners
1601 Trapelo Road, Suite 280
Waltham, MA 02451
Phone: 781-890-5600

c | d | p

1601 Trapelo Road
Suite 280
Waltham, MA 02451

Map/ Block/ Lot: **77/B/1, 2, 3, 4**
77/C/1, 2, 3
89/A/1, 2, 3

Owner:
The Stop & Shop Supermarket Company LLC
Attn: Kirk Jackson
1385 Hancock Street
Quincy, MA 01269
Phone: 800-767-7772



Vanasse Hangen Brustlin, Inc.
Transportation
Land Development
Environmental Services

101 Walnut Street, P.O. Box 9151
Watertown, Massachusetts 02471
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GROUNDVIEW

**landscape architecture
urban design**

**5 Dell Street
Somerville, MA 02145
617/548.9688**

CUBE 3

STUDIO

architecture interiors planning

360 Merrimack Street Lawrence, MA 01843
phone: 978.989.9900 www.cube3studio.com



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Legend

- ① DRAIN MANHOLE
- ② CATCH BASIN
- ③ SEWER MANHOLE
- ④ ELECTRIC MANHOLE
- ⑤ TELEPHONE MANHOLE
- ⑥ MANHOLE
- ⑦ HAND HOLE
- ⑧ WATER GATE
- ⑨ FIRE HYDRANT
- ⑩ GAS GATE
- ★ BOLLARD w/LIGHT
- STREET SIGN
- LIGHT POLE
- UTILITY POLE
- GUY POLE
- GUY WIRE
- MONITORING WELL
- FLOOD LIGHT
- WELL
- MARSH
- F.F.E.=45.27' FINISHED FLOOR ELEVATION
- CNO COULD NOT OPEN
- NPV NO PIPES VISIBLE
- DYL DOUBLE YELLOW LINE
- DWL DASHED WHITE LINE
- STL SINGLE WHITE LINE
- EDGE OF PAVEMENT
- CONCRETE CURB
- VERTICAL GRANITE CURB
- SLOPED GRANITE EDGE
- BITUMINOUS BERM
- BITUMINOUS CURB
- GUARD RAIL
- CHAIN LINK FENCE
- DRAINAGE LINE
- SEWER LINE
- OVERHEAD WIRE
- UNDERGROUND ELECTRIC
- TELEPHONE LINE
- GAS LINE
- WATER LINE
- STONE WALL
- TREE LINE
- 100' BZ 100-FT BUFFER ZONE
- 100' RA 100-FT RIVER FRONT AREA
- 200' RA 200-FT RIVER FRONT AREA
- 100' LMA 100-FT LIMIT MEAN ANNUAL HIGH WATER
- 100' LMB 100-FT LIMIT OF BANK
- 100' LWB 100-FT VEGETATED WETLAND BOUNDARY

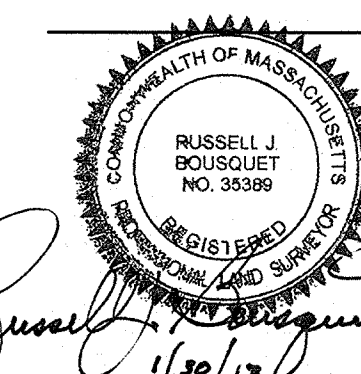
No.	PLAN UPDATES	8/9/12	CDR
1	Revision	Date	Appr.
Designed by	Drawn by	Checked by	
CAD checked by	Approved by		
Scale	1"=20'	Date	July 24, 2012
Project Title			

Stop & Shop

Somerville, Massachusetts

Issued for

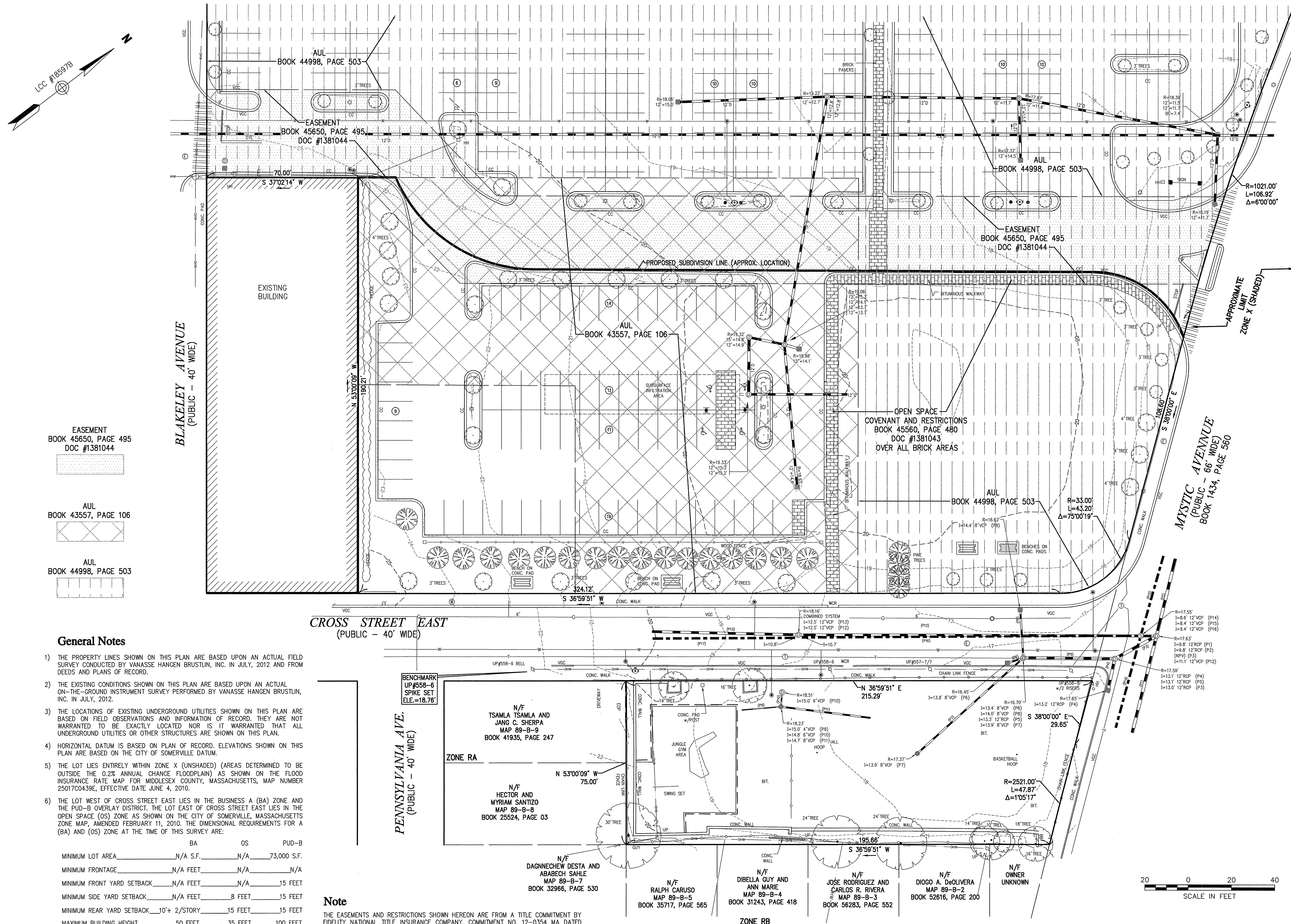
Existing Conditions Plan of Land



Drawing Number
Sv-1

Sheet 1 of 1
Project Number
11918.00

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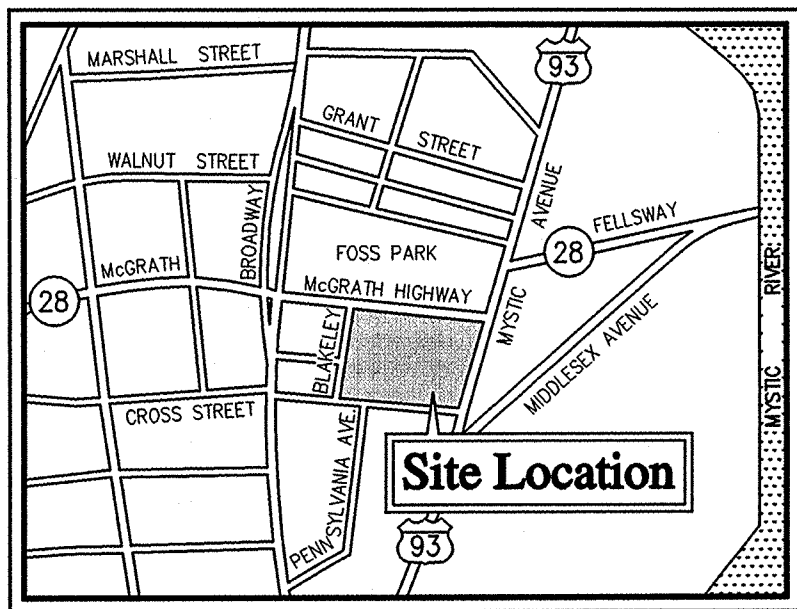
General Notes

- THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VANASSE HANGEN BRUSTLIN, INC. IN JULY, 2012 AND FROM DEEDS AND PLANS OF RECORD.
- THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN JULY, 2012.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- HORIZONTAL DATUM IS BASED ON PLAN OF RECORD. ELEVATIONS SHOWN ON THIS PLAN ARE BASED ON THE CITY OF SOMERVILLE DATUM.
- THE LOT LIES ENTIRELY WITHIN ZONE X (UNSHADED) (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR MIDDLESEX COUNTY, MASSACHUSETTS, MAP NUMBER 25017C0439E, EFFECTIVE DATE JUNE 4, 2010.
- THE LOT WEST OF CROSS STREET EAST LIES IN THE BUSINESS A (BA) ZONE AND THE PUD-B OVERLAY DISTRICT. THE LOT EAST OF CROSS STREET EAST LIES IN THE OPEN SPACE (OS) ZONE AS SHOWN ON THE CITY OF SOMERVILLE, MASSACHUSETTS ZONE MAP, AMENDED FEBRUARY 11, 2010. THE DIMENSIONAL REQUIREMENTS FOR A (BA) AND (OS) ZONE AT THE TIME OF THIS SURVEY ARE:

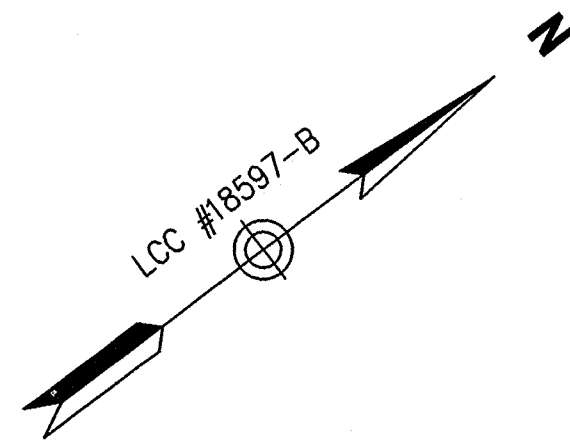
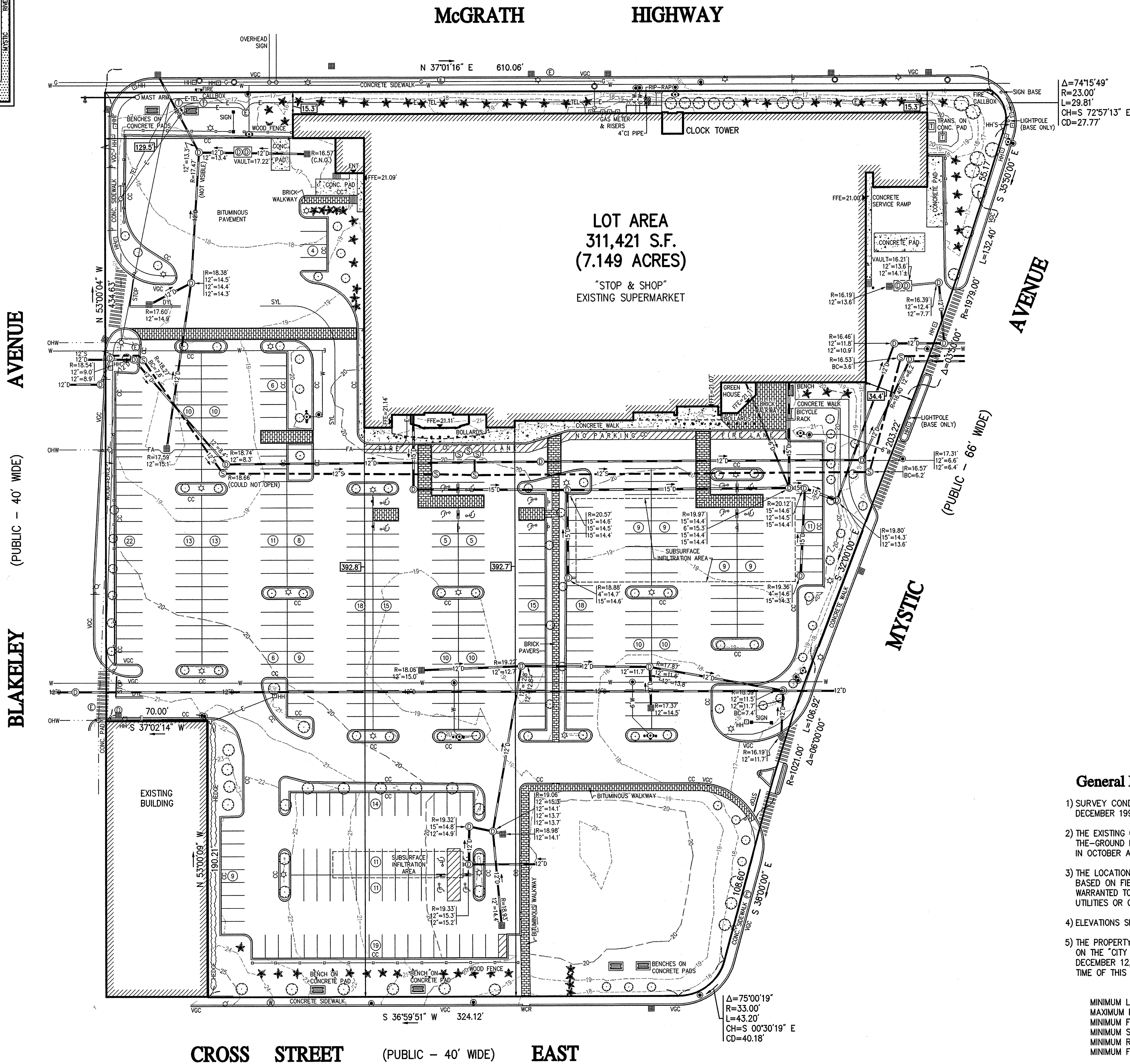
	BA	OS	PUD-B
MINIMUM LOT AREA	N/A S.F.	N/A	73,000 S.F.
MINIMUM FRONTAGE	N/A FEET	N/A	N/A
MINIMUM FRONT YARD SETBACK	N/A FEET	N/A	15 FEET
MINIMUM SIDE YARD SETBACK	N/A FEET	8 FEET	15 FEET
MINIMUM REAR YARD SETBACK	10' + 2/STORY	15 FEET	15 FEET
MAXIMUM BUILDING HEIGHT	50 FEET	35 FEET	100 FEET
MAXIMUM BUILDING STORIES	4 STORIES	2 1/2 STORIES	7 STORIES

Note

THE EASEMENTS AND RESTRICTIONS SHOWN HEREON ARE FROM A TITLE COMMITMENT BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. 12-0354 MA DATED OCTOBER 1, 2012. SEE SCHEDULE B, SECTION 2 THESE REFERENCES REFLECT SURVEY RELATED ITEMS ONLY.



Locus Map
SCALE: 1 INCH = 1250 FEET



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Legend

- ① DRAIN MANHOLE
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- ③ SEWER MANHOLE
- ④ ELECTRIC MANHOLE
- ⑤ TELEPHONE MANHOLE
- ⑥ MANHOLE
- ⑦ HANDHOLE
- ⑧ WATER GATE
- ⑨ FIRE HYDRANT
- ⑩ GAS GATE
- ⑪ STREET SIGN
- ⑫ LIGHT POLE
- ⑬ UTILITY POLE
- ⑭ GUY WIRE
- ⑮ GUY POLE
- ⑯ MONITORING WELL
- ⑰ EDGE OF PAVEMENT
- ⑱ CONCRETE CURB
- ⑲ VERTICAL GRANITE CURB
- ⑳ SLOPED GRANITE EDGE
- ㉑ BITUMINOUS BERM
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- ㉓ CHAIN LINK FENCE
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- ㉙ GAS LINE
- ㉚ WATER LINE
- ㉛ STONEWALL
- ㉜ TREELINE
- ㉝ 100-FT BUFFER ZONE
- ㉞ 100-FT RIVERFRONT AREA
- ㉟ 200-FT RIVERFRONT AREA
- ㊱ LIMIT MEAN ANNUAL HIGH WATER
- ㊲ LIMIT OF BANK
- ㊳ VEGETATED WETLAND BOUNDARY

General Notes

- 1) SURVEY CONDUCTED BY BOSTWICK ENGINEERING OF MASSACHUSETTS, INC. IN DECEMBER 1997 AND FROM PLANS AND DEEDS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VANASSE HANGEN BRUSTLIN, INC. IN OCTOBER AND NOVEMBER OF 2004.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) ELEVATIONS SHOWN ARE BASED ON CITY OF SOMERVILLE DATUM.
- 5) THE PROPERTY FALLS WITHIN AN INDUSTRIAL PARK (IP) ZONING DISTRICT AS SHOWN ON THE "CITY OF SOMERVILLE, MASSACHUSETTS, ZONING MAP" DATED (AMENDED TO) DECEMBER 12, 1990. THE DIMENSIONAL REQUIREMENTS OF AN IP ZONE AT THE TIME OF THIS SURVEY ARE:

	REQUIRED	EXISTING
MINIMUM LOT SIZE	10,000 S.F.	311,421 S.F.
MAXIMUM BUILDING HEIGHT	45 FEET (3 STORIES)	N/A
MINIMUM FRONT YARD	15 FEET	15.3'
MINIMUM SIDE YARD	N/A	N/A
MINIMUM REAR YARD	15 FEET	15.3'
MINIMUM FRONTAGE	N/A	N/A

- 6) THE UTILITY INVERT ELEVATIONS ARE LISTED IN A CLOCKWISE DIRECTION WITH THE OUTLET INVERT LISTED LAST.

Stop & Shop Supermarket

Somerville, Massachusetts
Issued for

Existing Conditions
Plan of Land

Drawing Number
Sv-1(A)
Sheet 1 of 1
Project Number
05733.01

Professional Seal: RUSSELL J. BOSTWICK, No. 33399, LAND SURVEYOR, PROFESSIONAL



Saved Friday, February 01, 2013 12:31:31 PM J:\AYER Plotted Friday, February 01, 2013 3:39:33 PM Mayer, Jocelyn

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Legend					
Exist.	Prop.		Exist.	Prop.	
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			RIPRAP
		EASEMENT			CONSTRUCTION ENTRANCE
		BUILDING SETBACK			TOP OF CURB ELEVATION
		PARKING SETBACK			BOTTOM OF CURB ELEVATION
		BASELINE			SPOT ELEVATION
		CONSTRUCTION LAYOUT			TOP & BOTTOM OF WALL ELEVATION
		ZONING LINE			BORING LOCATION
		TOWN LINE			TEST PIT LOCATION
		LIMIT OF DISTURBANCE			MONITORING WELL
		WETLAND LINE WITH FLAG			UNDERDRAIN
		FLOODPLAIN			DRAIN
		BORDERING LAND SUBJECT TO FLOODING			ROOF DRAIN
		WETLAND BUFFER ZONE			SEWER
		NO DISTURB ZONE			FORCE MAIN
		200' RIVERFRONT AREA			OVERHEAD WIRE
		GRAVEL ROAD			WATER
		EDGE OF PAVEMENT			FIRE PROTECTION
		BITUMINOUS BERM			DOMESTIC WATER
		BITUMINOUS CURB			GAS
		CURB AND GUTTER			ELECTRIC
		EXTRUDED CONCRETE CURB			STEAM
		MONOLITHIC CONCRETE CURB			TELEPHONE
		PRECAST CONC. CURB			FIRE ALARM
		SLOPED GRAN. EDGING			CABLE TV
		VERT. GRAN. CURB			CATCH BASIN
		LIMIT OF CURB TYPE			DOUBLE CATCH BASIN
		SAWCUT			GUTTER INLET
		BUILDING			DRAIN MANHOLE
		BUILDING ENTRANCE			TRENCH DRAIN
		LOADING DOCK			PLUG OR CAP
		BOLLARD			CLEANOUT
		DUMPSTER PAD			FLARED END SECTION
		SIGN			HEADWALL
		DOUBLE SIGN			SEWER MANHOLE
		STEEL GUARDRAIL			CURB STOP & BOX
		WOOD GUARDRAIL			WATER VALVE & BOX
		PATH			TAPPING SLEEVE, VALVE & BOX
		TREE LINE			SIAMESE CONNECTION
		WIRE FENCE			FIRE HYDRANT
		FENCE			WATER METER
		STOCKADE FENCE			POST INDICATOR VALVE
		STONE WALL			WATER WELL
		RETAINING WALL			GAS GATE
		STREAM / POND / WATER COURSE			GAS METER
		DETENTION BASIN			ELECTRIC MANHOLE
		HAY BALES			ELECTRIC METER
		SILT FENCE			LIGHT POLE
		STRAW WATTLE			TELEPHONE MANHOLE
		MINOR CONTOUR			TRANSFORMER PAD
		MAJOR CONTOUR			UTILITY POLE
		PARKING COUNT			GUY POLE
		COMPACT PARKING STALLS			GUY WIRE & ANCHOR
		DOUBLE YELLOW LINE			HAND HOLE
		STOP LINE			PULL BOX
		CROSSWALK			MATCHLINE
		ACCESSIBLE CURB RAMP			MATCHLINE
		ACCESSIBLE PARKING			MATCHLINE
		VAN-ACCESSIBLE PARKING			MATCHLINE

Abbreviations	
General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EXIST	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes:	
General	
1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.	
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.	
3. WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.	
4. WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.	
5. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.	
6. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.	
7. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.	
8. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.	
9. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.	
10. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.	
Utilities	
1. THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS OF WAY.	
2. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.	
3. SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.	
4. RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS: A. PAVEMENTS AND CONCRETE SURFACES: FLUSH B. ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH C. LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.	
5. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.	
6. CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.	
7. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN: A. WATER PIPES SHALL BE DUCTILE IRON (DI). B. SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE C. STORM DRAINAGE PIPES SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE). D. PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.	
8. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEMARK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASEMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.	
9. CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.	
10. ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.	
Layout	
1. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.	
2. PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.	
3. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACES WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.	
4. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.	
5. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.	

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No.	Revision	Date	Appr.	
Designed by	JRM	Drawn by	JRM	Checked by LTM
CAD checked by		Approved by	CPN	
Scale	N.T.S.	Date	February 1, 2013	
Project Title				

Proposed Residential
Development

60-70 Cross Street East
Somerville, Massachusetts

Issued for
Revision to PUD Master Plan

Not Approved for Construction
Drawing Title

Legend and
General Notes

Drawing Number
C-1

Sheet
1 of 4

Project Number
12109.00

Zoning Summary Chart

Zoning District(S):	Business A (BA) & Open Space (OS)		
Overlay District(S):	Planned Unit Development B (PUD-B)		
Zoning Regulation Requirements	Existing	Required	Provided
MINIMUM PUD AREA	311,421 Square Feet	75,000 Square Feet	317,690 Square Feet
FRONT YARD SETBACK ^(a)	15.3 Feet (From McGrath)	15 Feet	15.3 Feet (From McGrath)
SIDE YARD SETBACK ^(a)	34.4 Feet (From Mystic)	15 Feet	15.33 Feet (From Mystic) ^(b)
REAR YARD SETBACK ^(a)	392.8 Feet (From Cross)	15 Feet	24.8 Feet
RESIDENTIAL SETBACK	432.8 Feet	30 Feet	24.8 Feet ^(c)
MAXIMUM FLOOR AREA RATIO	0.26	3.0	0.65
MAXIMUM BUILDING HEIGHT	28 Feet	100 Feet	58 Feet
MAXIMUM BUILDING STORIES	2 Stories	7 Stories	5 Stories
MAXIMUM BUILDING COVERAGE	23.9 %	65.0 %	37.0 %
MINIMUM LANDSCAPE AREA	22.6 %	20.0 %	19.5 % ^(d)
MINIMUM USEABLE OPEN SPACE (50% OF LANDSCAPE AREA)	31,142 SF (REQ.) 70,446 SF (PROVIDED)	50% OF MIN. LANDSCAPE AREA	31,769 SF (REQ.) 47,599 SF (PROVIDED)

(a) APPLIES ONLY TO PERIMETER OF OVERALL PUD

(b) SETBACK TO BUILDING FOUNDATION WALL; A VARIATION HAS BEEN REQUESTED FOR A 9' SETBACK TO ALLOW FOR BUILDING OVERHANG

(c) SETBACK TO BUILDING FOUNDATION WALL; A VARIATION HAS BEEN REQUESTED FOR A 10' SETBACK TO ALLOW FOR BUILDING OVERHANG

(d) INCLUDES COURTYARD AREAS ABOVE PARKING GARAGE

Parking Summary Chart

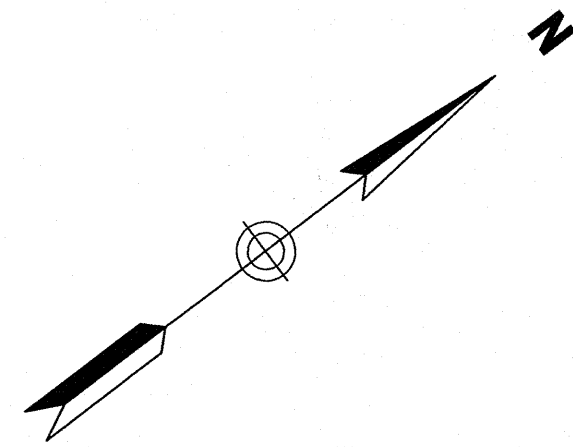
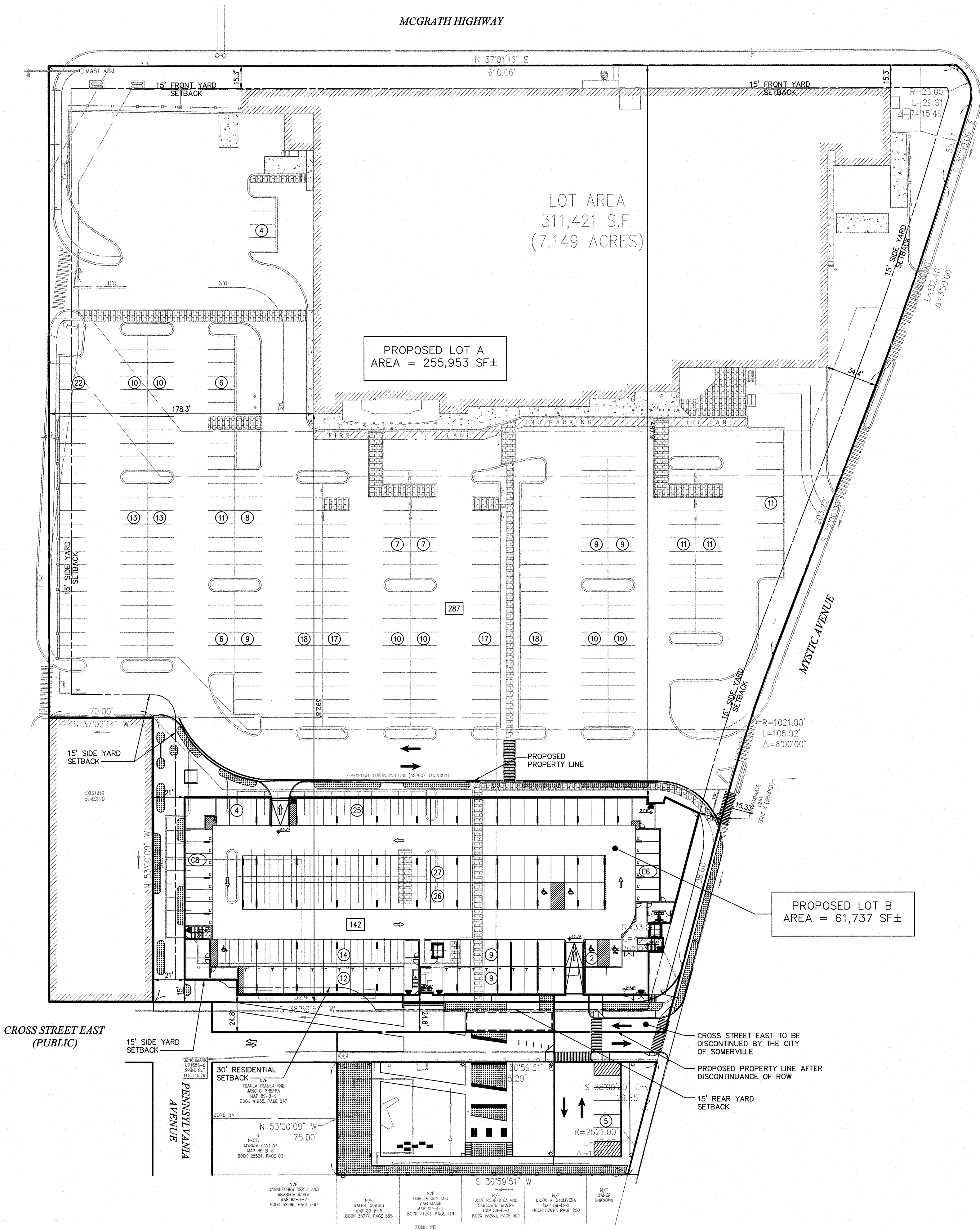
Description	Size		Spaces		
	Required	Provided	Existing	Required	Provided
STANDARD SPACES	9 x 18	9 x 18	295	337	396
COMPACT SPACES (20% ALLOWED)	8 x 16	8 x 16	42	-	14
STANDARD ACCESSIBLE SPACES *	8 x 18	8 x 18	18	6	16
VAN ACCESSIBLE SPACES	8 x 18	8 x 18	-	2	3
TOTAL SPACES			355	345	429

* ADA/STATE/LOCAL REQUIREMENTS

** LOADING BAYS ARE NOT REQUIRED FOR RESIDENTIAL APARTMENT USES

*** PARKING SUMMARY DOES NOT INCLUDE HARRIS PARK

BLAKELEY AVENUE



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Designed by <i>JRM</i>		Drawn by <i>JRM</i>	Checked by <i>LTM</i>	
CAD checked by		Approved by <i>CPN</i>		
Scale 1"=40'		Date February 1, 2013		

Proposed Residential Development

60-70 Cross Street East
Somerville, Massachusetts

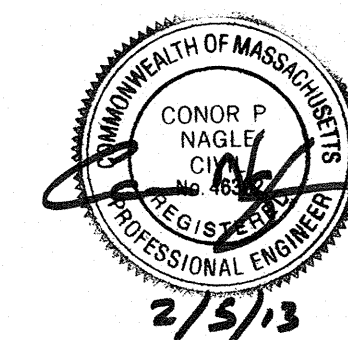
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Drawing Title

Overall Site Plan

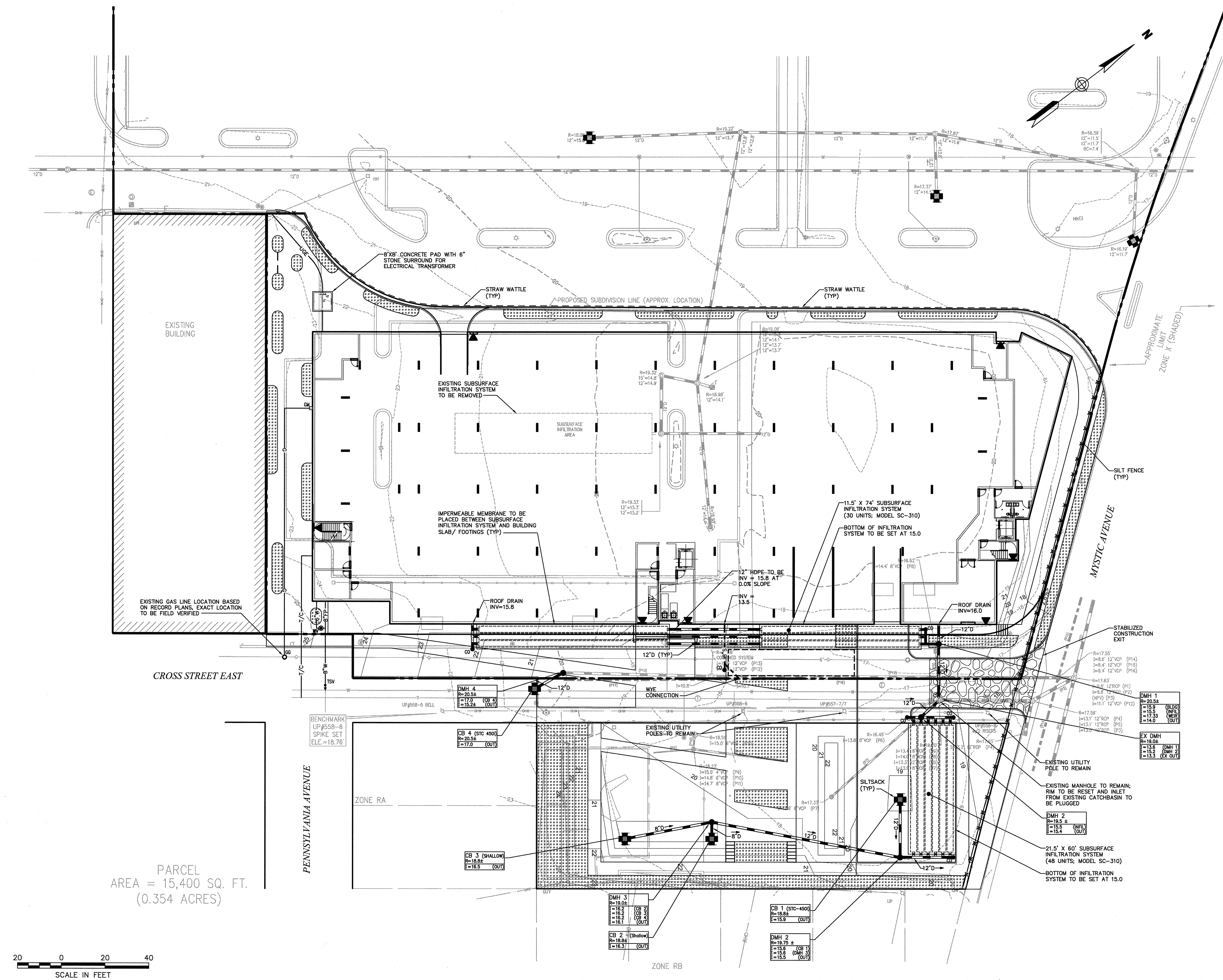
Drawing Number



C-2

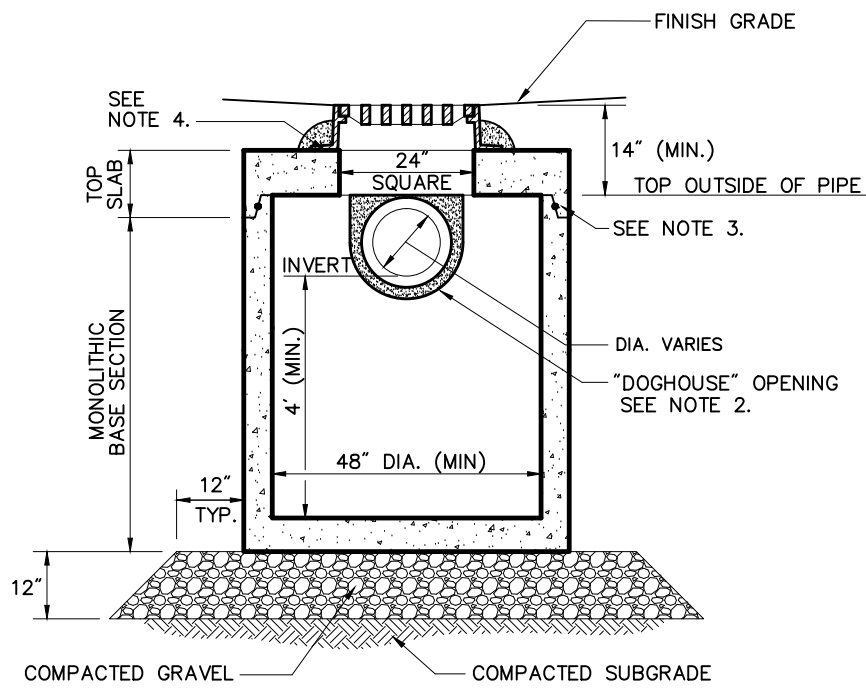
Sheet of 2 4

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Saved Friday, February 01, 2013 2:41:57 PM JMAXER Plotted Friday, February 01, 2013 3:43:22 PM Moyer, Jocelyn

\\VHB\PROJ\WAT-LD\12109.00\CAD\LD\PLANSET\12109_0T

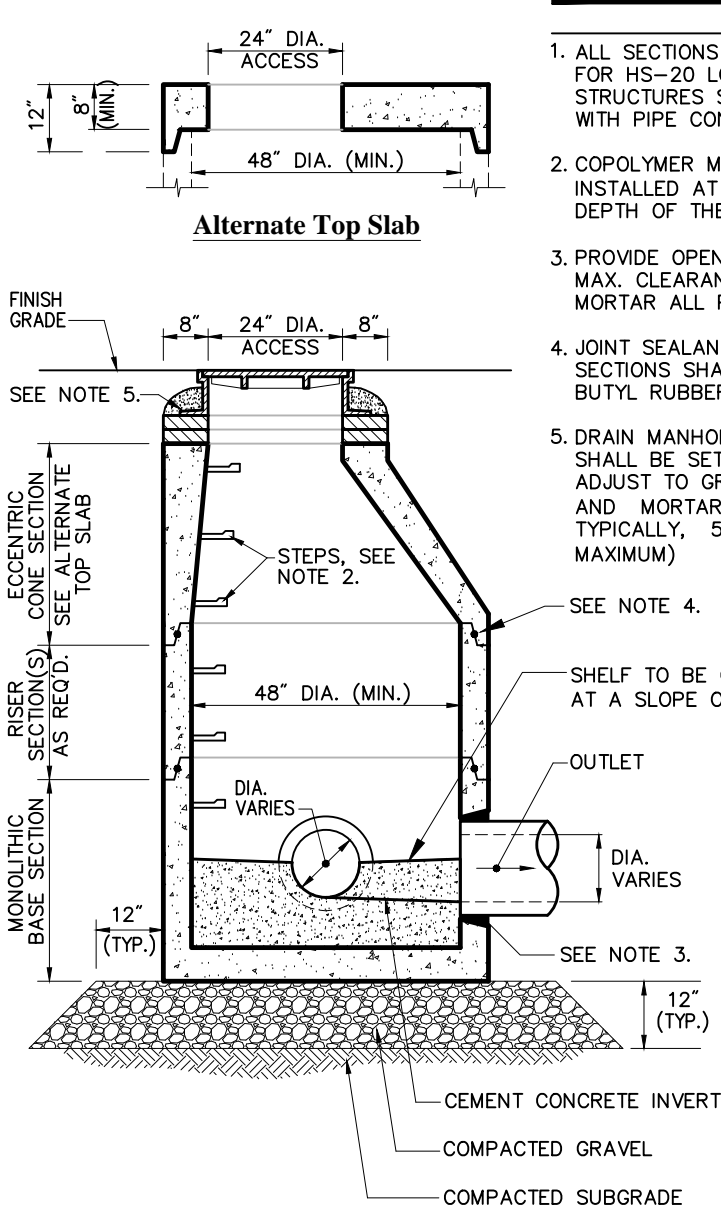


Notes:

1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. PROVIDE DOGHOUSE OPENING FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. TOP SLAB SHALL NOT REST DIRECTLY ON PIPE. GROUT ALL PIPE CONNECTIONS (NON-SHRINK GROUT).
3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
4. CATCH BASIN FRAME AND GRATE (4"DEPTH) SHALL BE SET IN FULL MORTAR BED.
5. ADJUST TO FINISH GRADE WITH CLAY BRICK AND MORTAR AS REQUIRED.

Catch Basin (CB) Shallow Cover

N.T.S. Source: VHB 6/08 LD_104

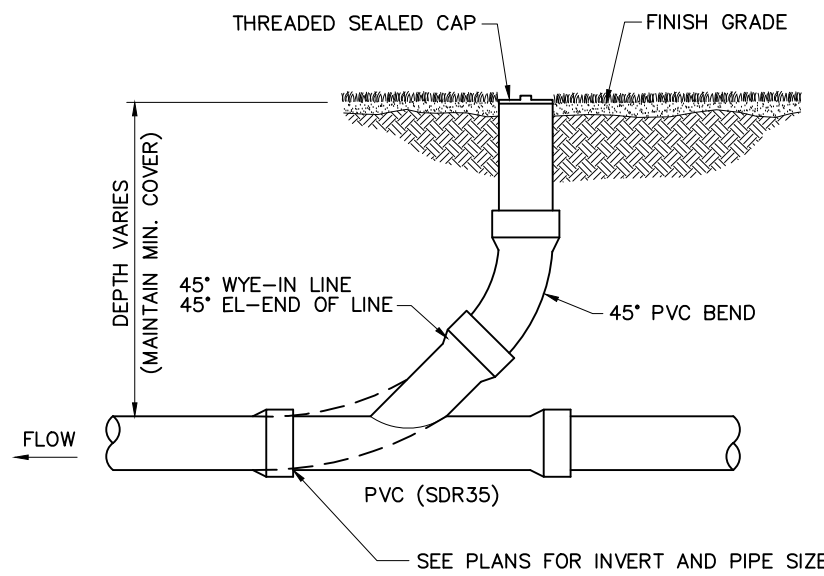


Notes:

1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING. DIAMETER OF STRUCTURES SHALL BE COORDINATED WITH PIPE CONFIGURATIONS.
2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
3. PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
5. DRAIN MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

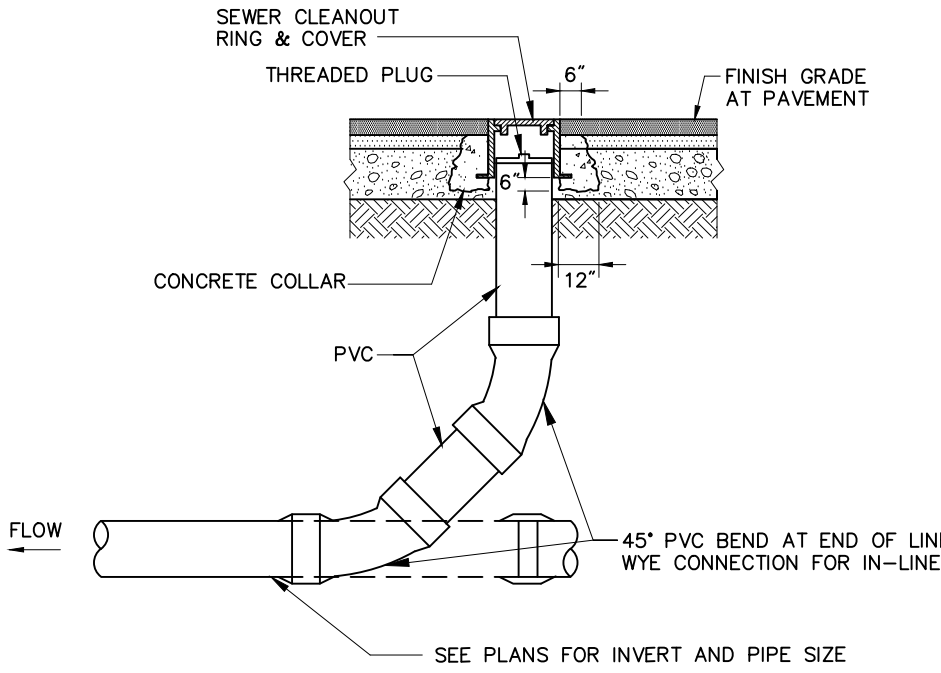
Drain Manhole (DMH)

N.T.S. Source: VHB 4/11 LD_115



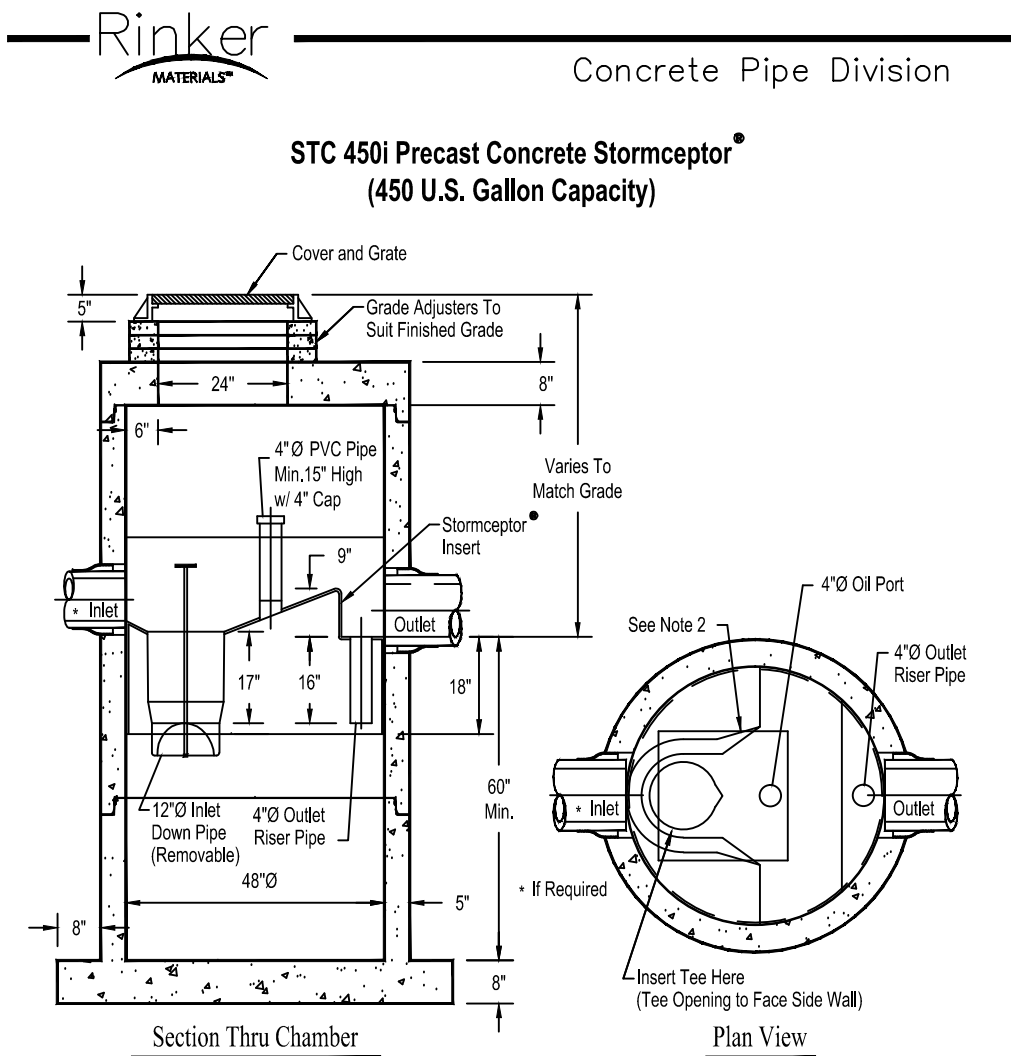
Cleanout - Landscape Area

N.T.S. Source: VHB 6/08 LD_302



Cleanout - Paved Area

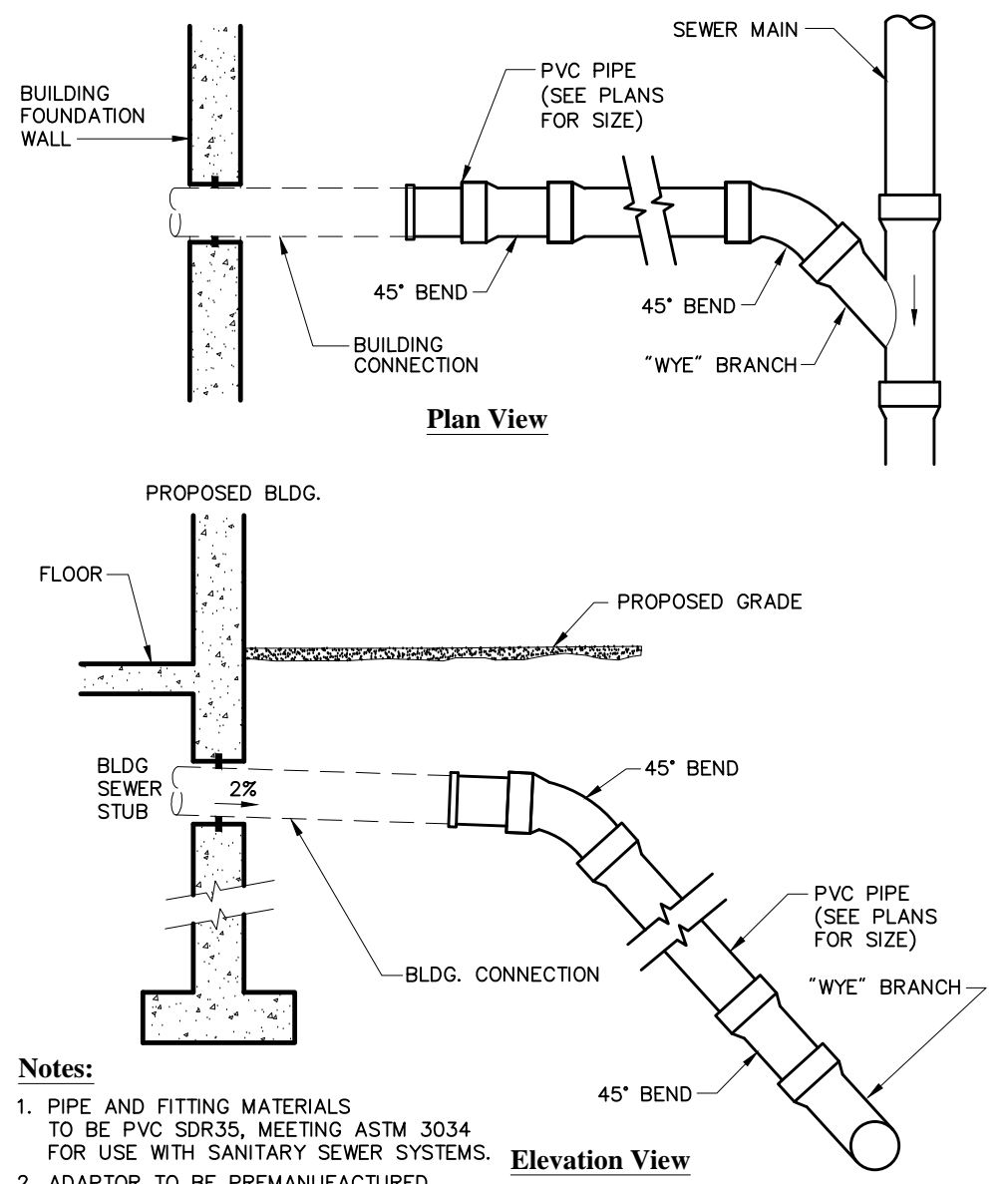
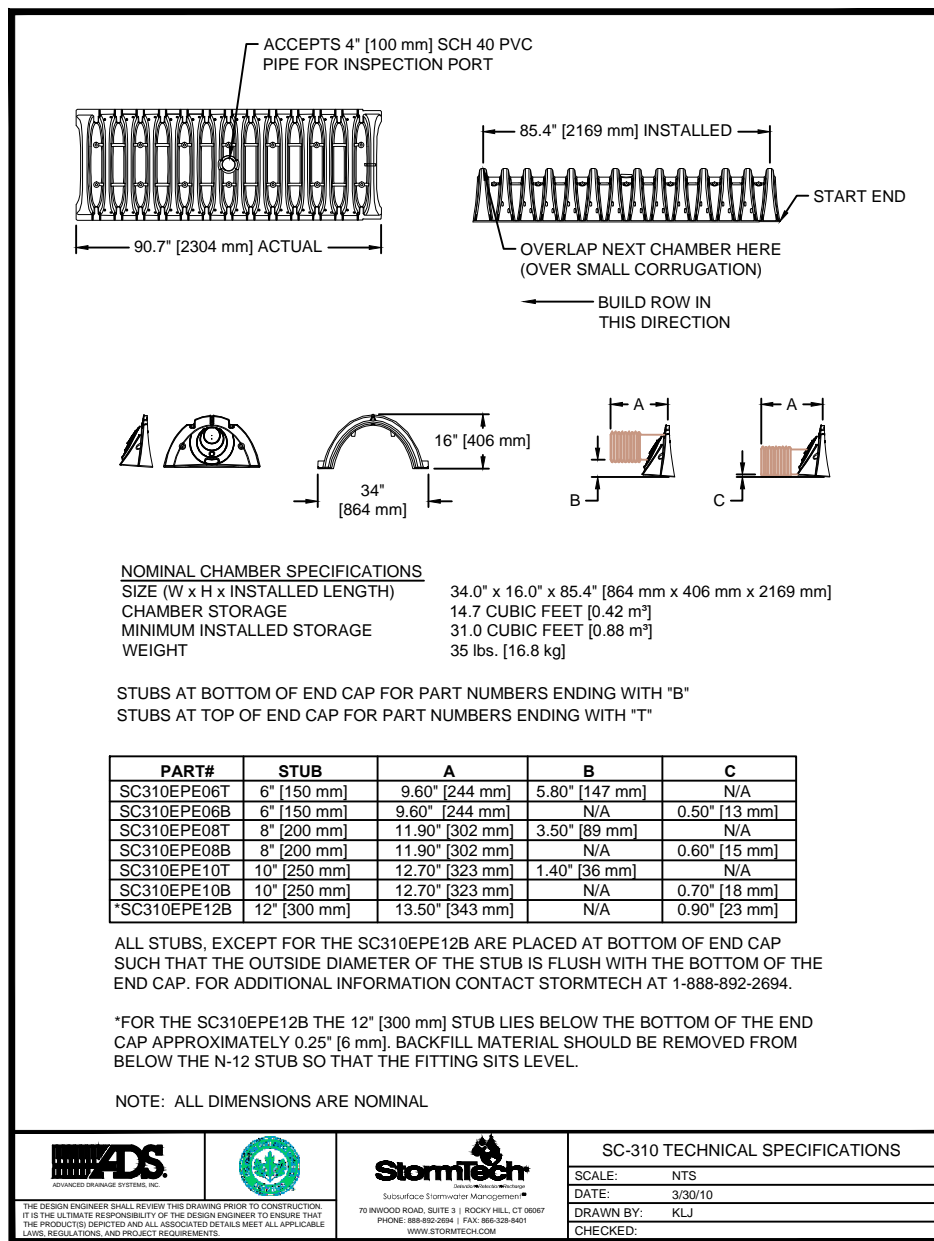
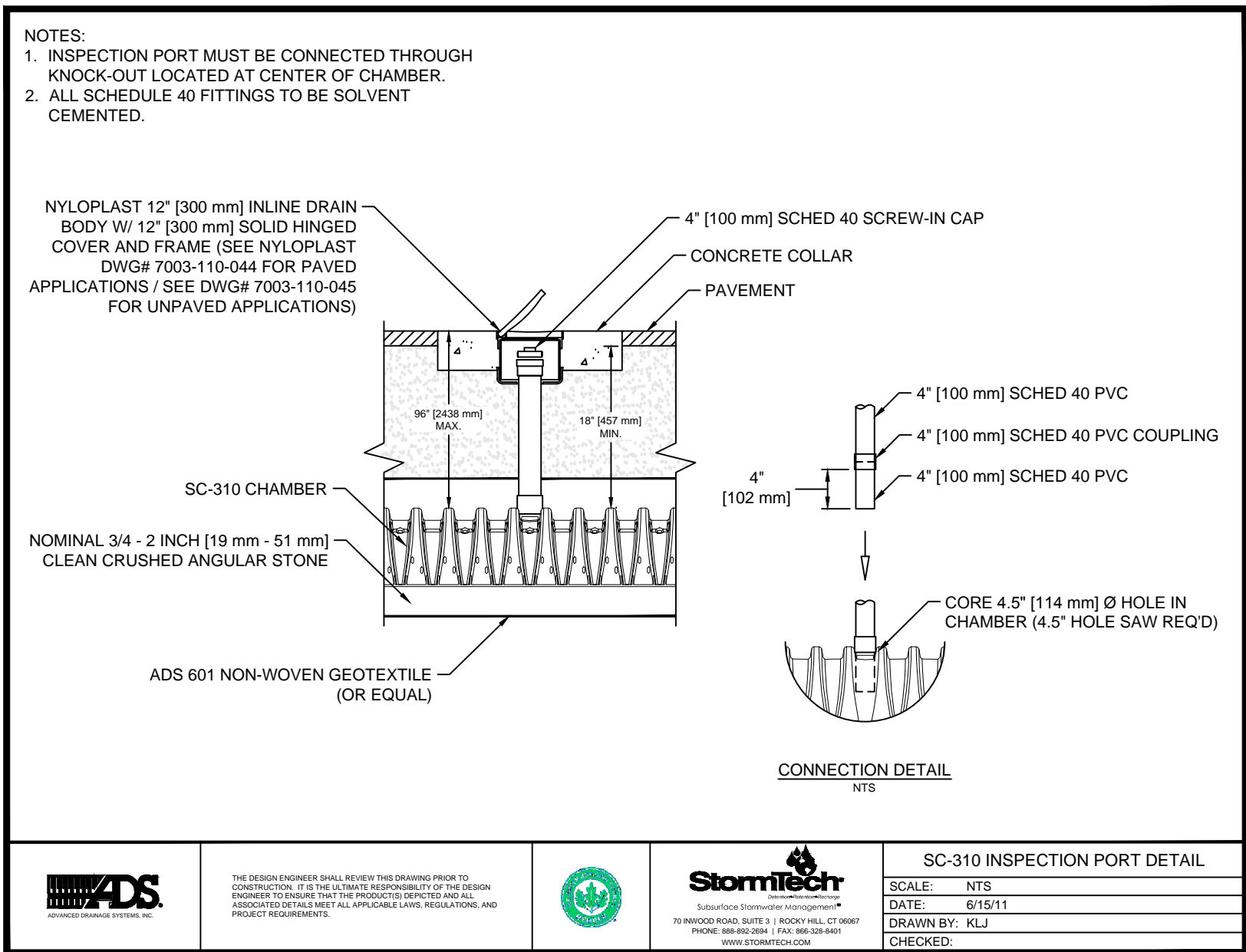
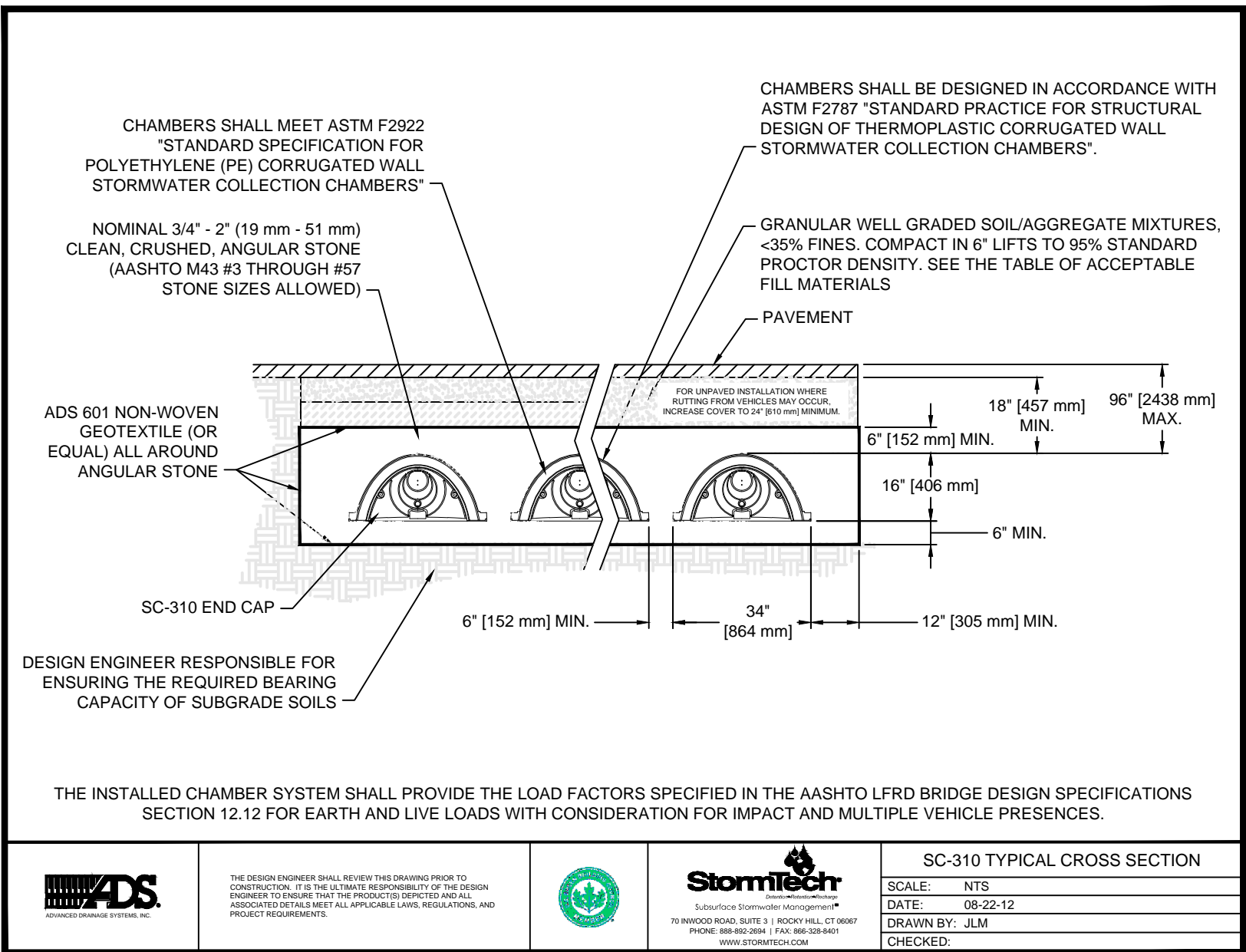
N.T.S. Source: VHB 3/11 LD_303



Notes:

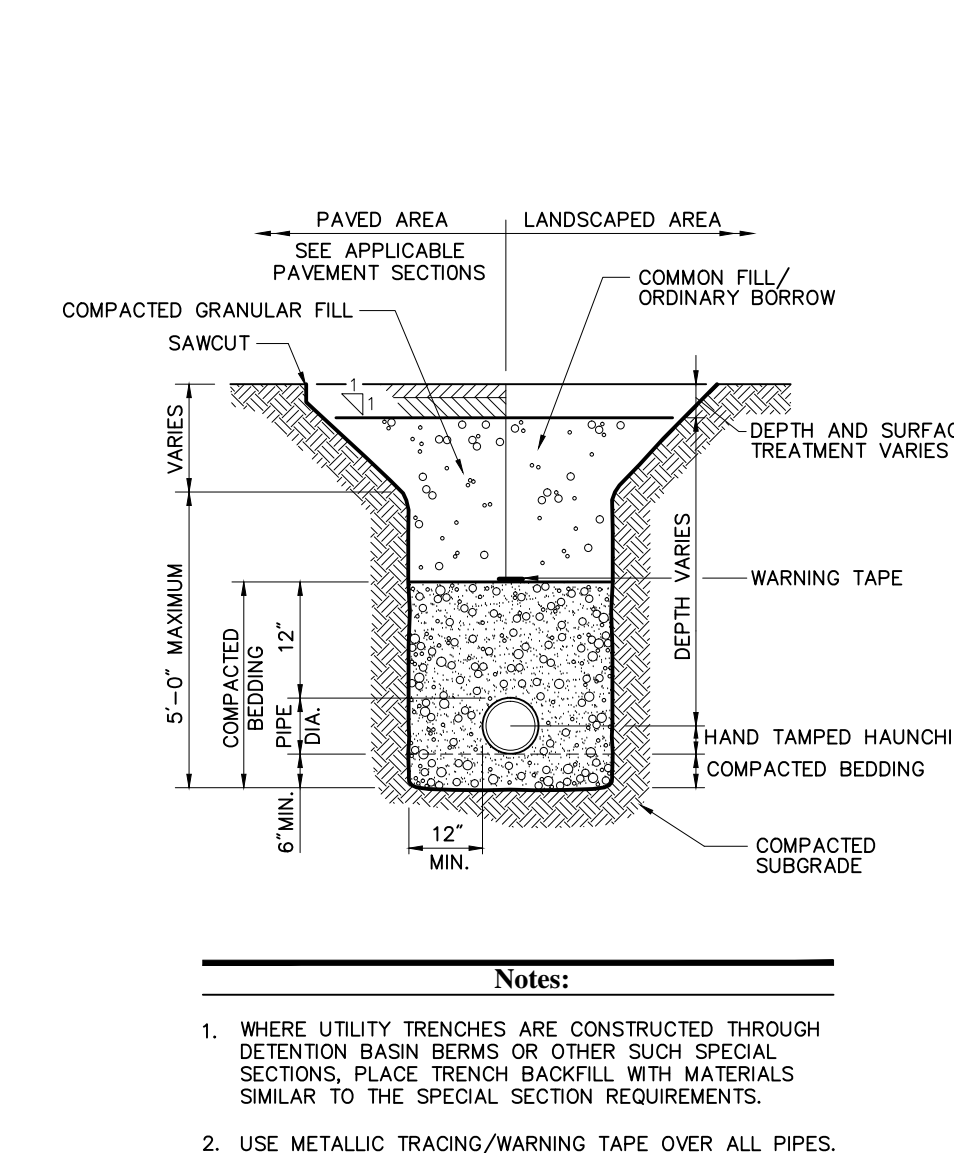
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
2. The Cover Should be Positioned Over The Inlet Drop Pipe and The Oil Port.
3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498351, #575760, #5755115, #5849101, #6068565, #6371690.
4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

Rinker 027



Typical Wye and Chimney Detail

N.T.S. Source:

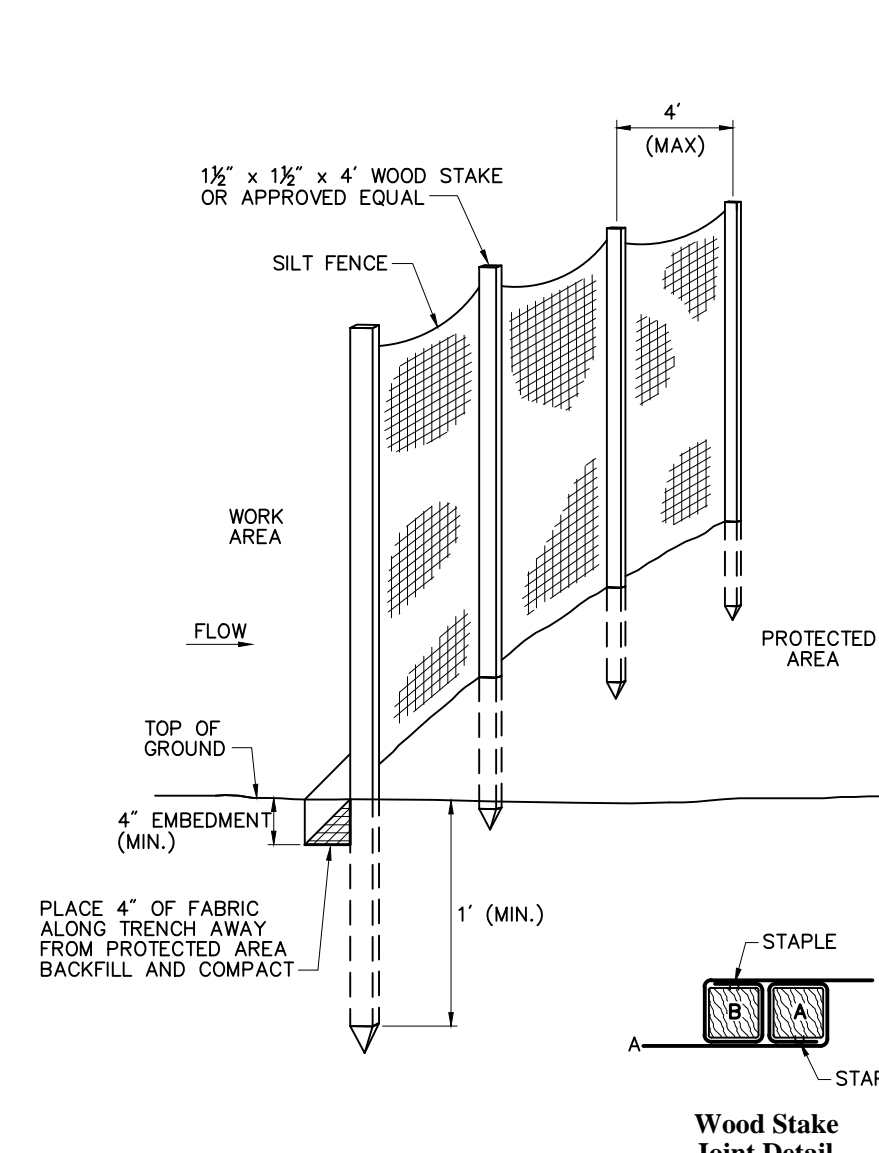


Notes:

1. WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
2. USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.

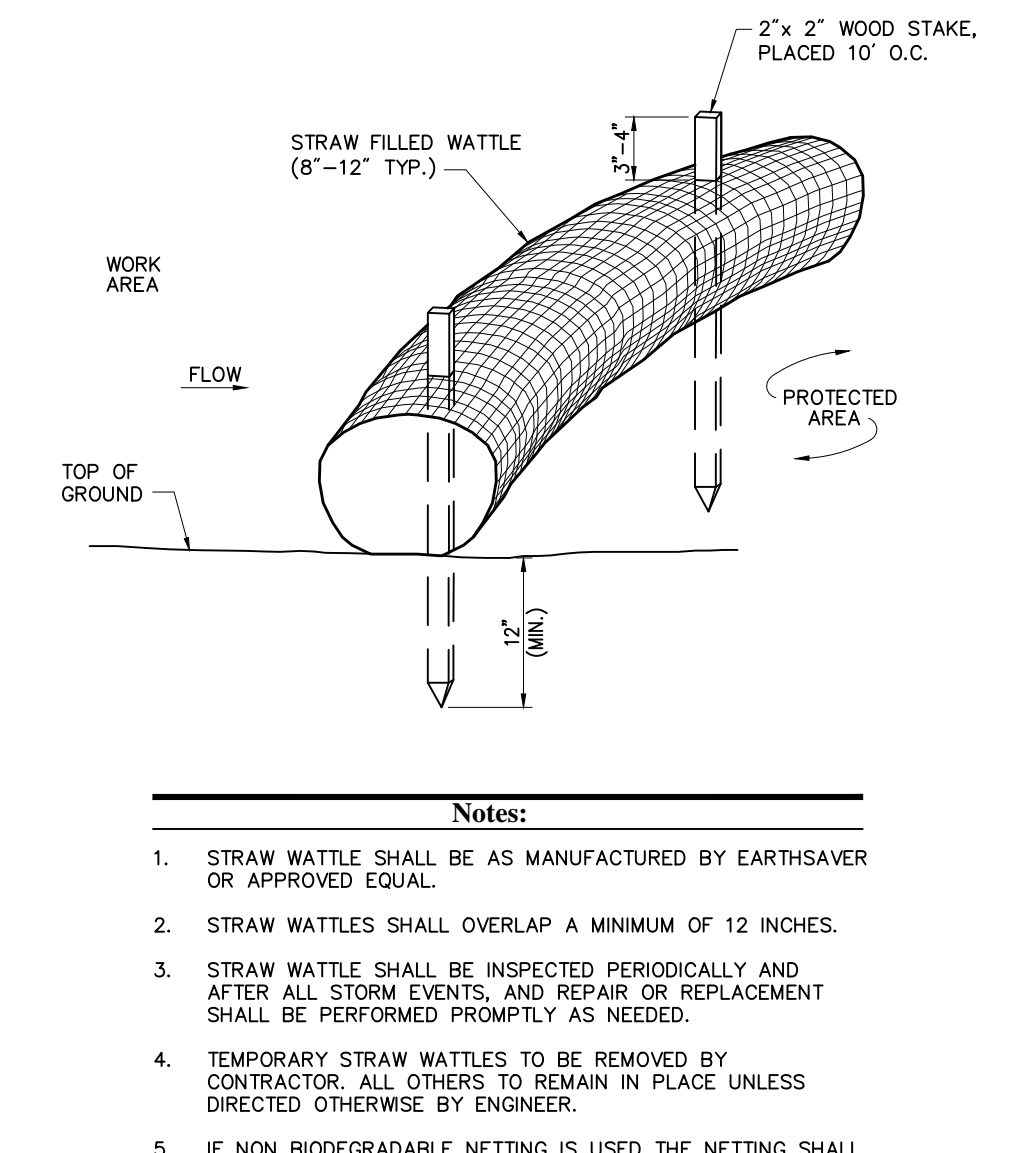
Utility Trench

N.T.S. Source: VHB 6/11 LD_300



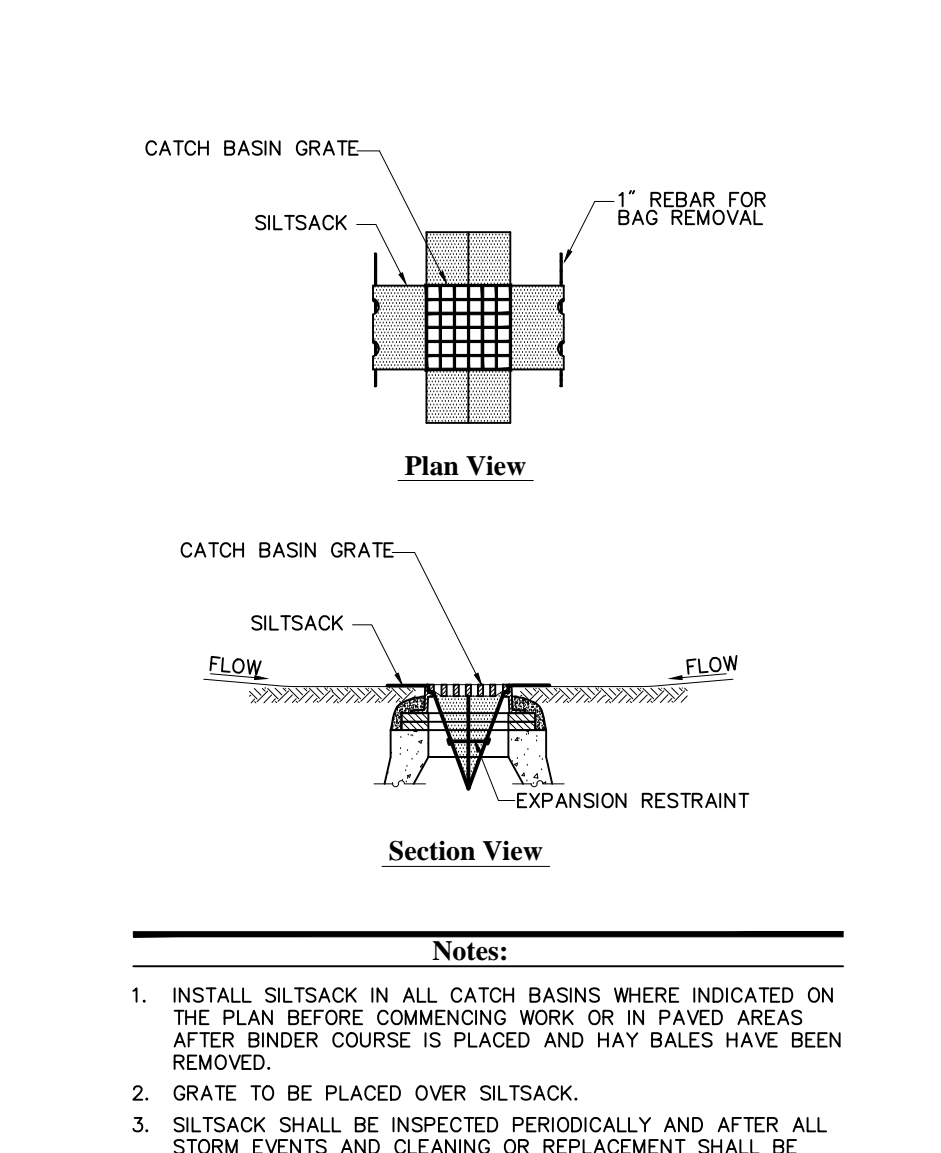
Silt Fence Barrier

N.T.S. Source: VHB 6/08 LD_650



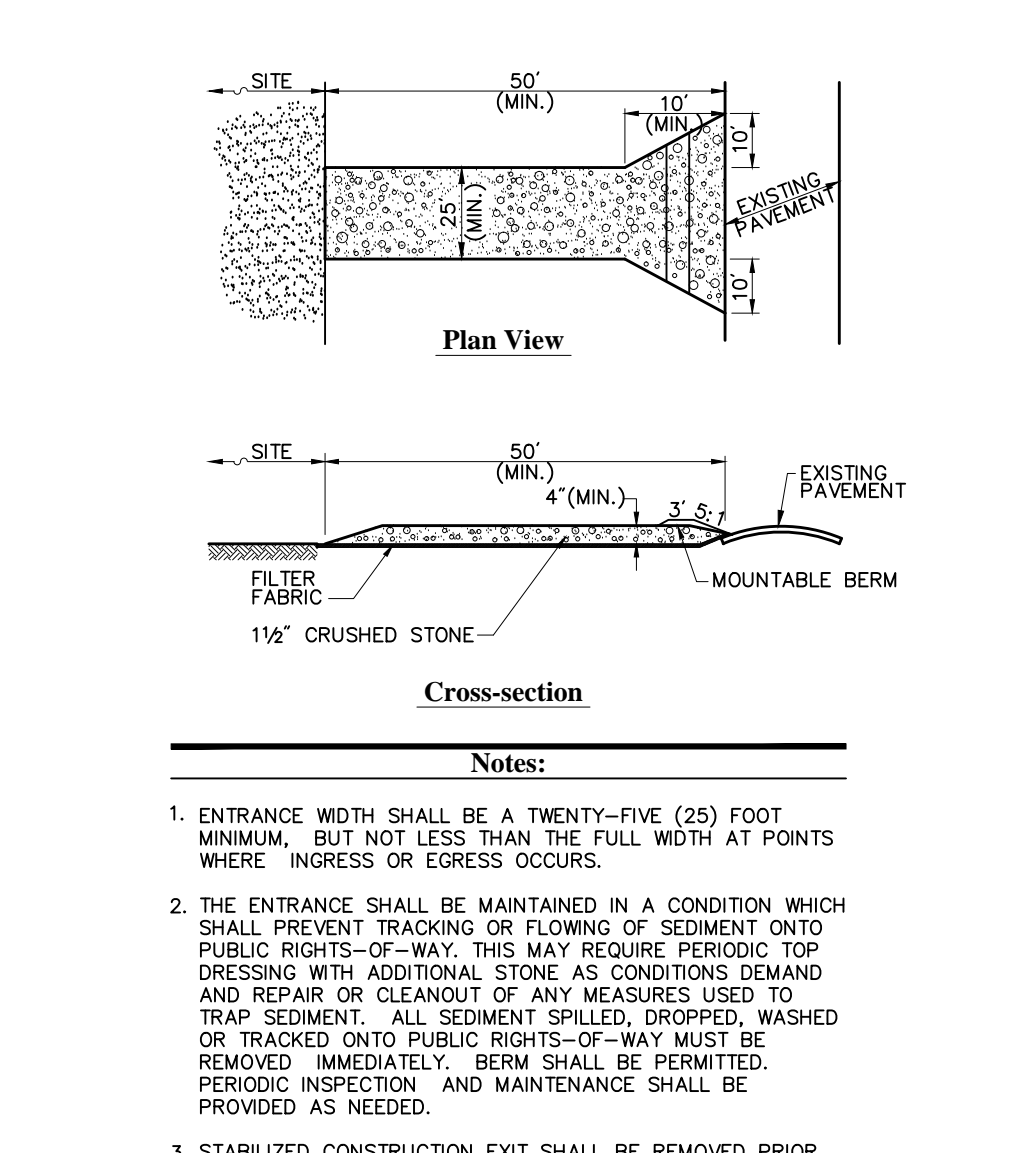
Straw Wattle - Erosion Control Barrier

N.T.S. Source: VHB 6/12 LD_659



Siltsack Sediment Trap

N.T.S. Source: VHB 6/08 LD_674



Stabilized Construction Exit

N.T.S. Source: VHB 6/08 LD_682

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Project Title			

Proposed Residential
Development

60-70 Cross Street East
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Drawing Title

Site Details

C-4

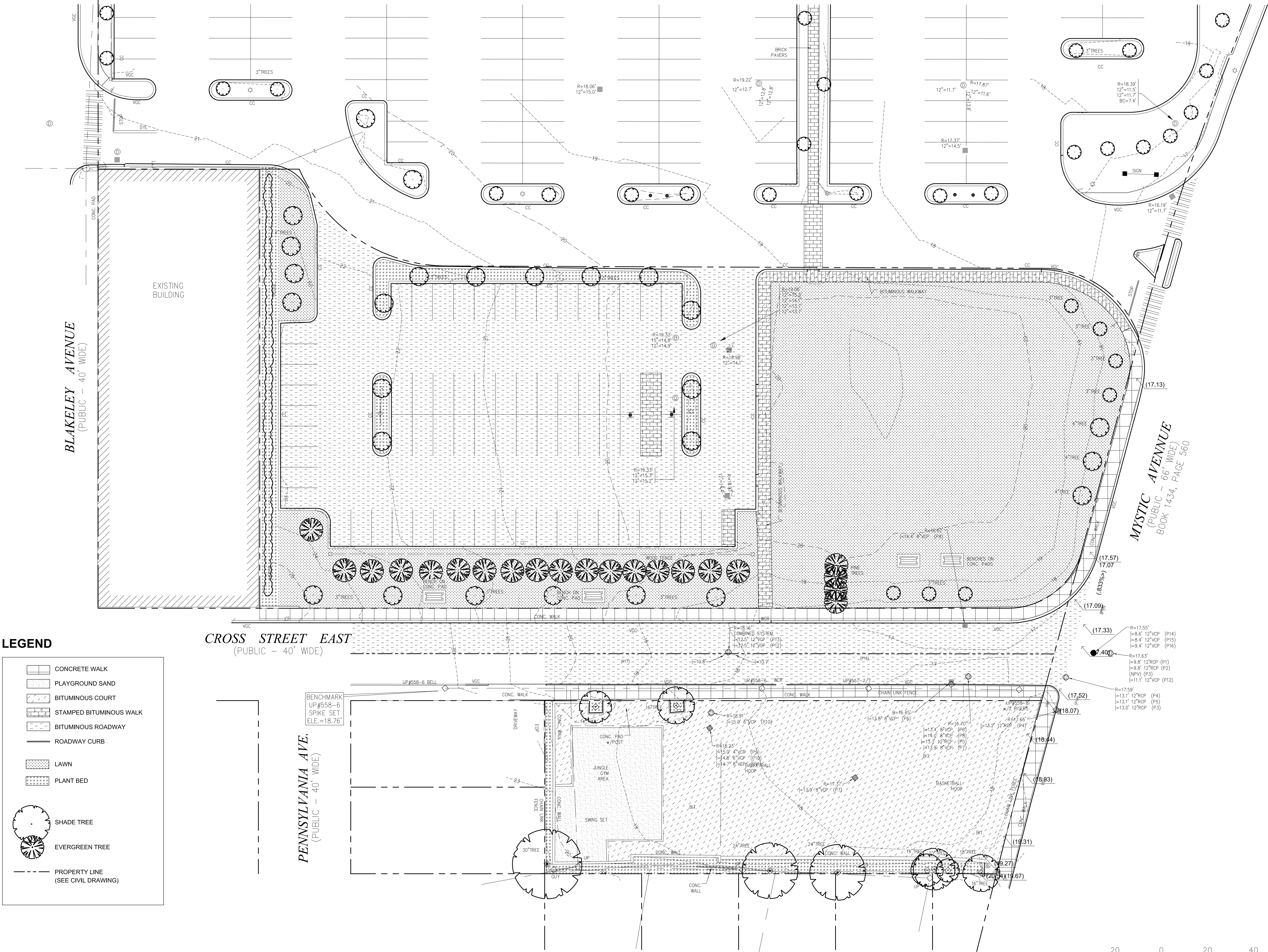
Sheet
4 of 4

Project Number
12109.00

12109_0T.DWG

Saved Thursday, January 31, 2013 10:46:42 AM STATION Plotted Thursday, January 31, 2013 10:48:22 AM Station

D:\GROUNDVIEW\PROJECTS\46_CROSS\CAD\VL-EX



LEGEND

- CONCRETE WALK
- PLAYGROUND SAND
- BITUMINOUS COURT
- STAMPED BITUMINOUS WALK
- BITUMINOUS ROADWAY
- ROADWAY CURB
- LAWN
- PLANT BED
- SHADE TREE
- EVERGREEN TREE
- PROPERTY LINE (SEE CIVIL DRAWING)

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Project Title			

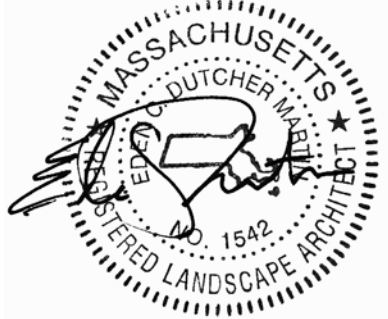
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Drawing Title

Existing Landscape Plan



Drawing Number

L-0

Sheet of 1 1

Project Number

L-EX.DWG

LEGEND

	CONCRETE WALK		BIKE RACK (10 SPACES)
	BITUMINOUS WALK		BENCH
	BITUMINOUS ROADWAY		TABLE/ CHAIRS
	ROADWAY CURB		AREA DRAIN
	STAIR		POST LIGHT
	LAWN		FENCE
	PLANT BED		PROPERTY LINE (SEE CIVIL DRAWING)
	LARGE DECIDUOUS SHADE TREE		
	MEDIUM DECIDUOUS SHADE TREE		
	SMALL DECIDUOUS SHADE TREE		
	MULTI-STEM DECIDUOUS ORNAMENTAL TREE		
	MEDIUM EVERGREEN TREE		

CROSS STREET EAST
(PUBLIC - 40' WIDE)

PENNSYLVANIA AVE.
(PUBLIC - 40' WIDE)

BLAKELEY AVENUE
(PUBLIC - 40' WIDE)

MYSTIC AVENUE
(PUBLIC - 66' WIDE)
BOOK 1434, PAGE 560



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Proposed Residential
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Landscape Improvement Plan

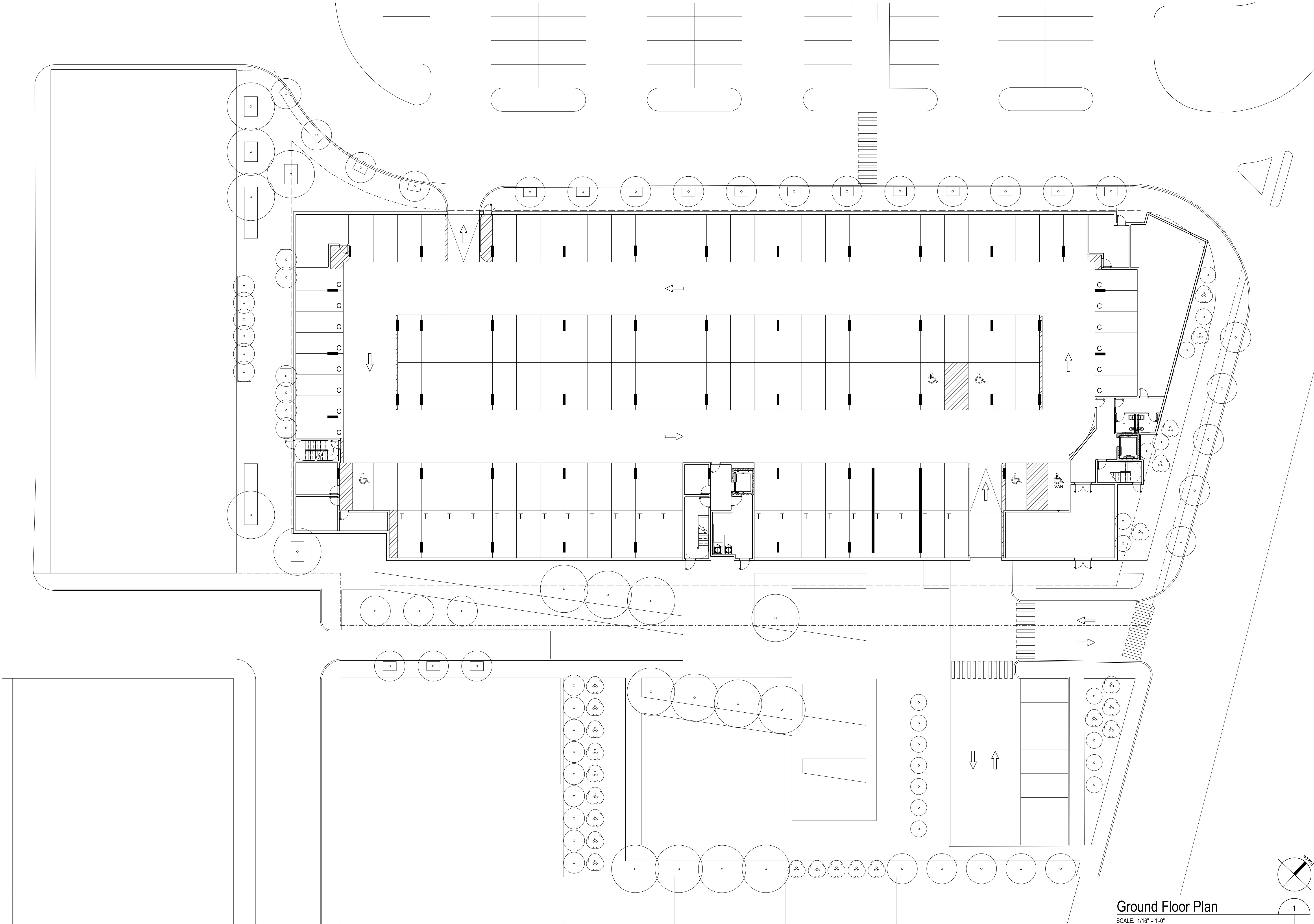


Drawing Number

L-1

Sheet of 1 1

Project Number



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**Ground Floor
Plan**

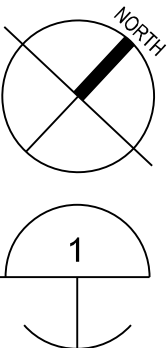
Drawing Number

A-100

Sheet 1 of 4

Project Number
12109.00

Ground Floor Plan
SCALE: 1/16" = 1'-0"





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Scale	Date	February 1, 2013	
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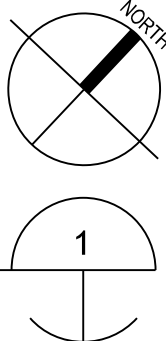
Proposed Residential Development
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First Floor Plan

Drawing Number
A-101
Sheet 2 of 4
Project Number
12109.00

First Floor Plan
SCALE: 1/16" = 1'-0"





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**Second and Third Floor
Plan**

Drawing Number

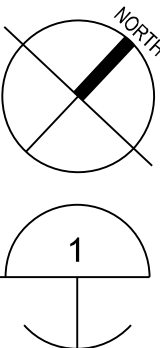
A-102

Sheet 3 of 4

Project Number
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Second and Third Floor Plan

SCALE: 1/16" = 1'-0"





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**Fourth Floor
Plan**

Drawing Number

A-104

Sheet 4 of 4

Project Number
12109.00

Fourth Floor Plan

SCALE: 1/16" = 1'-0"

